



REAL PROPERTY CONSTRUCTIONS

House and Land Package

located at

Lot 185 Latimer Crescent, Chancellor Park

Total Price as per attached inclusions

\$363,500.00

HOUSE AND LAND**\$363,500.00**

Price based on plan for Lot 186 Latimer Crescent

Base price is included as an "M" classification site with no piers.

Drawing Number

Including Real Property Construction Turnkey Inclusions

TOTAL HOUSE AREA = 180m² LAND AREA = 375m²

EXTERNAL HOUSE FEATURES

1. Face Rendered and paint to external façade over masonry bricks.
2. Tiled roof with 25 degree roof pitch.
3. Ceiling height of approximately 2400mm
4. Patio to rear under main roof with one rendered and painted masonry brick piers. Ceiling to patio and porch to be painted water resistant plasterboard.
5. Exposed aggregate concrete to driveway, porch, patio and paths, from RPC builder's standard range.
6. 1800 high CCA timber fencing to all boundaries and returning to the side with a single gate.
7. Automatic sectional overhead garage door with three remotes (1 wallmount and 2 handheld).
8. TV antennae with two TV points, one in the lounge and one in the main bedroom.
9. Foldaline clothesline, from RPC builders' standard range.
10. Sandstone letterbox, from RPC builders' standard range.
11. Fully landscaped including garden beds and turf to front and back.

INTERNAL HOUSE FEATURES

1. Vinyl sliding doors included to all built in wardrobes and linen cupboard, selected from RPC builders' standard range.
2. Linen cupboard to have 4 painted MDF shelves.
3. Walk In Robe, bedrooms 2, 3 and 4 to have a bank of 3 shelves along with a top shelf and hanging rail;
4. Security Screens to all aluminium sliding doors and windows, selected from RPC builders' standard range.
5. Vertical drapes are included to all aluminium sliding doors and windows with the exception of bathroom, en-suite, WC & garage windows, selected from RPC builders' standard range
6. Installation of 5 white ceiling fans, selected from RPC builders's standard range, placed in all bedrooms, lounge and family area.
7. Stainless steel Technika dishwasher TBD4S/S.
8. Main floor tiling to entry, dining, meals and hallway, from RPC builder's standard range.
9. Carpet to main bedroom, bedrooms 2, 3 and 4 (including the robes and walk in) and lounge, from RPC builder's standard range.

TURNKEY INCLUSIONS

General Inclusions

Drafting of plans
 All council application fees (house related)
 All construction and liability insurance
 Engineers soil investigation and slab design
 Engineer designed and inspected foundations/slab/frame
 W41, N3 construction
 Site works, site scrape to maximum of 500mm fall
 Standard allowance - "S" type soil
Taubmans paints fully painted inside and out
 Gloss paint to skirting and architraves
 Termite treatment to AS 3660.0
 Roof pitch 25 degree - hip or gable, or as per plan
 Pine framing and roof trusses
 Tie down to roof tiles W41, N3

Kitchen

Wilsonart laminated benchtops square edge/postformed
 Laminated kitchen cupboards
 Overhead cupboards (as per plan)
Technika stainless steel fan forced oven **TB60FS/S**
Technika stainless steel trim ceramic cooktop **6CSS**
Technika stainless steel slide out rangehood **SL1/01/60**
Space only for dishwasher plumbed with cold water
Base stainless steel 1 3/4 bowl kitchen sink
Chrome flick mixer tap
 400mm tiling to kitchen splash back or underside of overheads as per plan
Waterproofing to Australian Standards

Bathroom, Ensuite, WC

Mirror 900mm high to maximum length of vanity
Vitreous china Porcher Heron vanity basin – white

Posh Bristol quality tapware in chrome
Vallora Chrome quality double towel rail and paper holder
 Clear glass shower screens with pivot door
Bath tub 1523 Posh Solus
Soap holder ceramic to showers
WC vitreous china – White
Cistern white acrylic – dual flush
Shower base – hob above concrete slab and tiled
WC floor and bathroom tiling to – one row above vanity unit, 400mm above bath & 2m high in shower skirting tiles perimeter of rooms
 Tiles to be selected from Builders supplier \$20.00/sqm
Waterproofing to Australian Standards

Turnkey Inclusions

Boundary fencing and returns – 1 with a gate
 Landscaping and turf
 Exposed aggregate driveway and external concrete
 Flyscreens to windows and sliding glass doors
 Verticals windows and sliding glass doors excluding garage and wet areas
 Floor coverings throughout

External Inclusions

Hanson bricks/blocks – builder's selection
Boral concrete tile roof with sarking
 Colorbond metal fascia and gutter
 Remote control panel lift garage door with remote opener
 2 external garden taps
 250 litre HWS wired off peak
 Sewer connection to 60 meters
 60 metre stormwater to street with 6 metre setback
 Aluminium sliding doors and windows (key locks on doors)
Humes Ultimo XU10 front entrance door or equivalent
Lanes entrance set to external doors as per builder selection
 Sidelight glass as per plan (obscure glass)
James Hardie cladding FC sheeting where applicable

Laundry

Glo Tub 45LT with suds by pass and cabinet
 Posh Bristol tapware in Chrome
 Tiling to floor and skirting, tub splash back to 400mm
 Tiles to be selected from builder's supplier \$20.00/sqm
Waterproofing to Australian Standards

Other Inclusions

Humes internal doors from builder's standard range
Built in robes to all bedrooms as per plans with shelf and rail
Linen cupboard with 4 shelves or as per plan
Colonial skirting and architraves 68x12mm

Sisilation – to all walls
Cornice plaster cove – **internal** 90mm, **patio** 55mm
Ceiling battens to underside of trusses
Plasterboard 10mm to wall and ceilings
Villaboard or WR board linings 6mm to wet areas
Lanes Standard Lever quality internal door furniture as per builder selection
Garages – fully lined as per plan
Professional cleaners to clean inside and out – All rubbish removed

6 Year Structural Guarantee

6 Months Maintenance Warranty

Letterbox – builder's standard range

Clothesline – fold-a-line builder's standard range

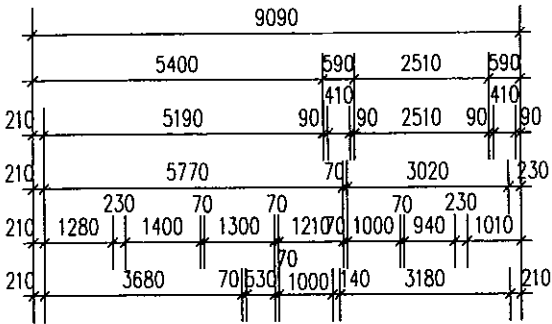
TV antenna – Builder's standard range

Electrical Points and Light Fittings

Circular fluorescent in kitchen
 Oyster light in bathroom, laundry and ensuite
 3 double GPO in kitchen/2 double GPO to Bed 1 and lounge
 1 double GPO in all other rooms except WC and hall
 3 external oyster lights
 2 TV points/2 Phone Points
 240v down lights to remainder of home - builder's plan
 Smoke alarms to local government authority/ Circuit Breaker

RPC reserves the right to alter this specification without further notice. Nominated PC items are subject to availability and RPC reserves the right to substitute to a similar product when necessary.

FLOOR AREAS	
Ground Floor:	184.50 sqm
Entry Patio:	2.50 sqm
Total Floor Area:	187.00sqm



ELEVATIONS

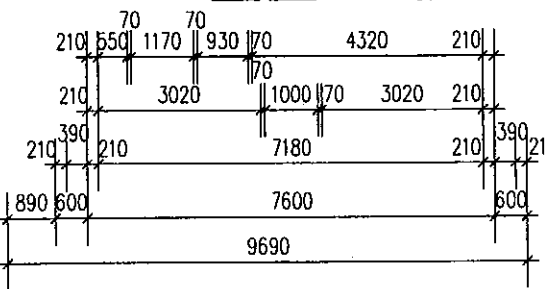
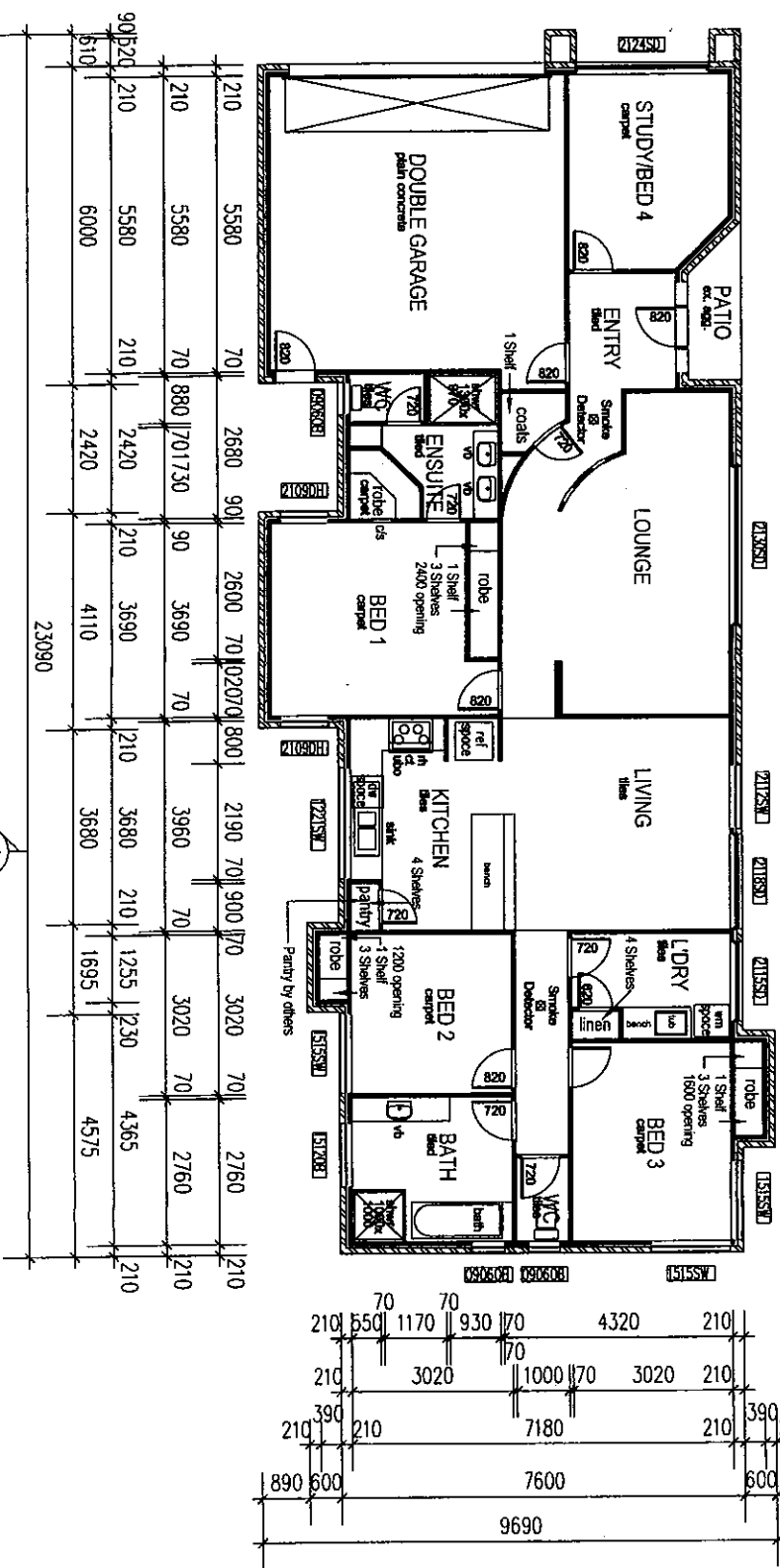
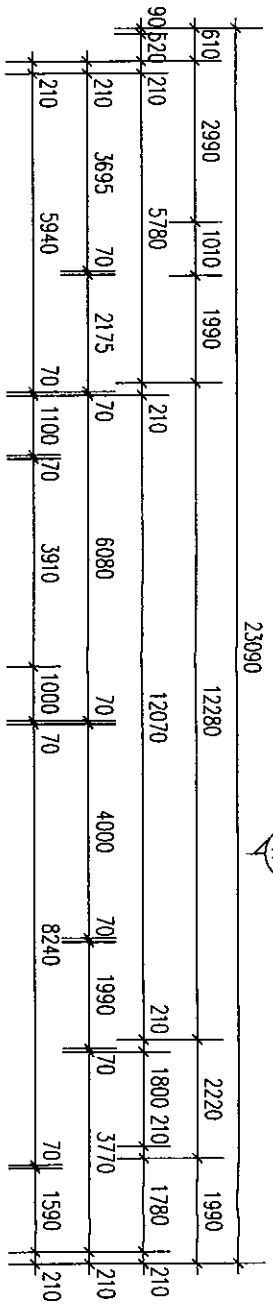
FLOOR PLAN

Scale 1:100

Smoke Detectors
Approved smoke detectors are to be installed in all residential buildings, with connection to mains supplied power and with a battery back up system, all in accordance with the BCA 1996 part 3.7.2. (Smoke Alarm)

Glazing
All hot weather systems to be installed with a tempering valve & must comply with AS 1587.2

Hot Water Systems
All hot water systems to be installed with a tempering valve & must comply with AS 1587.2



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25 Technology Drive
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OBSA Lic. 728 206

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Facsimile: 07 5428 8311

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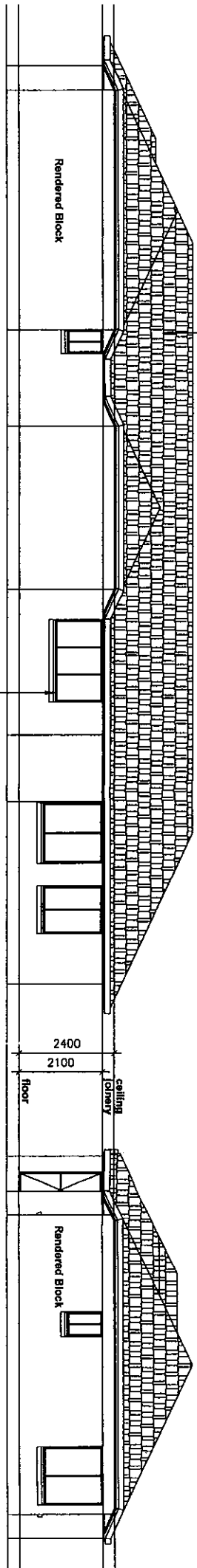
Client Name: **RPC Marketing P/L**

Job Address: **Lot 185 Latimer Cres, Sippy Downs**

Issue No.	2	27/02/06	Revised Construction Issue	AW
Issue No.	1	13/02/06	Construction Issue	AW
Scale:	1:100			
Date:	May 06			
Drawn:	AW			
Pages:	2 of 6			
Rev:	1			

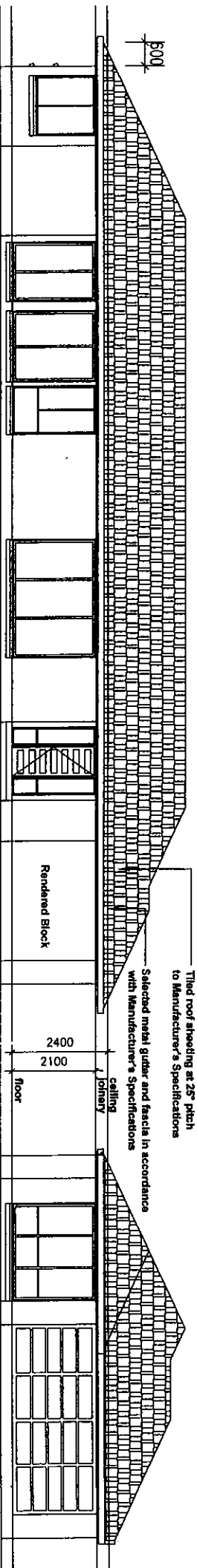
Note:
Provide articulation joints
as per building code

Tiled roof sheeting at 25° pitch
to Manufacturer's Specifications



ELEVATION 1

ELEVATION 2



ELEVATION 3

ELEVATION 4



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Client Name: **RPC Marketing P/L**

Job Address: **Lot 185 Latimer Cres,
Sippy Downs**

Council: **Maroochy** Wind Cat: **N3/W4/1** Drawn: **AW** Pages: **3 of 6**
Scale: **1:400** Date: **11/05/06** Dwg No. **00000/003** Rev. **1**

1	May 06	Construction Issue	AW
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REAL PROPERTY CONSTRUCTIONS

House and Land Package

located at

Lot 187 Latimer Crescent, Chancellor Park

Total Price as per attached inclusions

\$399,000.00

HOUSE AND LAND**\$399,000.00**

Price based on plan for Lot 187 Latimer Crescent

Base price is included as an "M" classification site with no piers.

Drawing Number

Including Real Property Construction Turnkey Inclusions

TOTAL HOUSE AREA = 192.0m² LAND AREA = 450m²

EXTERNAL HOUSE FEATURES

1. Face Rendered and paint to external façade over masonry bricks.
2. Concrete roof tile with 25 degree roof pitch.
3. Ceiling height of approximately 2550mm
4. Patio to rear under main roof with one rendered and painted masonry brick piers. Ceiling to patio and porch to be painted water resistant plasterboard.
5. Exposed aggregate concrete to driveway, porch, patio and paths, from RPC builder's standard range.
6. 1800 high CCA timber fencing to all boundaries and returning to the side with a single gate.
7. Automatic sectional overhead garage door with three remotes (1 wallmount and 2 handheld).
8. TV antennae with two TV points, one in the lounge and one in the main bedroom.
9. Foldaline clothesline, from RPC builders' standard range.
10. Sandstone letterbox, from RPC builders' standard range.
11. Fully landscaped including garden beds and turf to front and back.

INTERNAL HOUSE FEATURES

1. Vinyl sliding doors included to all built in wardrobes and linen cupboard, selected from RPC builders' standard range.
2. Linen cupboard to have 4 painted MDF shelves.
3. Walk In Robe, bedrooms 2, 3 and 4 to have a bank of 3 shelves along with a top shelf and hanging rail;
4. Security Screens to all aluminium sliding doors and windows, selected from RPC builders' standard range.
5. Vertical drapes are included to all aluminium sliding doors and windows with the exception of bathroom, en-suite, WC & garage windows, selected from RPC builders' standard range
6. Installation of 6 white ceiling fans, selected from RPC builders's standard range, placed in all bedrooms, lounge and family area.
7. Stainless steel Technika dishwasher TBD4S/S.
8. Main floor tiling to entry, dining, meals and hallway, from RPC builder's standard range.
9. Carpet to main bedroom, bedrooms 2, 3 and 4 (including the robes and walk in) and lounge, from RPC builder's standard range.

TURNKEY INCLUSIONS

General Inclusions

Drafting of plans
All council application fees (house related)
All construction and liability insurance
Engineers soil investigation and slab design
Engineer designed and inspected foundations/slab/frame
W41, N3 construction
Site works, site scrape to maximum of 500mm fall
Standard allowance - "S" type soil
Taubmans paints fully painted inside and out
Gloss paint to skirting and architraves
Termite treatment to AS 3660.0
Roof pitch 25 degree - hip or gable, or as per plan
Pine framing and roof trusses
Tie down to roof tiles W41, N3

Kitchen

Wilsonart laminated benchtops square edge/postformed
Laminated kitchen cupboards
Overhead cupboards (as per plan)
Technika stainless steel fan forced oven **TB60FS/S**
Technika stainless steel trim ceramic cooktop **6CSS**
Technika stainless steel slide out rangehood **SL1/01/60**
Space only for dishwasher plumbed with cold water
Base stainless steel 1 3/4 bowl kitchen sink
Chrome flick mixer tap
400mm tiling to kitchen splash back or underside of overheads as per plan
Waterproofing to Australian Standards

Bathroom, Ensuite, WC

Mirror 900mm high to maximum length of vanity
Vitreous china Porcher Heron vanity basin – white
Posh Bristol quality tapware in chrome
Vallora Chrome quality double towel rail and paper holder
Clear glass shower screens with pivot door
Bath tub 1523 Posh Solus
Soap holder ceramic to showers
WC vitreous china – White
Cistern white acrylic – dual flush
Shower base – hob above concrete slab and tiled
WC floor and bathroom tiling to – one row above vanity unit, 400mm above bath & 2m high in shower skirting tiles perimeter of rooms
Tiles to be selected from Builders supplier \$20.00/sqm
Waterproofing to Australian Standards

Turnkey Inclusions

Boundary fencing and returns – 1 with a gate
Landscaping and turf
Exposed aggregate driveway and external concrete
Flyscreens to windows and sliding glass doors
Verticals windows and sliding glass doors excluding garage and wet areas
Floor coverings throughout

External Inclusions

Hanson bricks/blocks – builder's selection
Boral concrete tile roof with sarking
Colorbond metal fascia and gutter
Remote control panel lift garage door with remote opener
2 external garden taps
250 litre HWS wired off peak
Sewer connection to 60 meters
60 metre stormwater to street with 6 metre setback
Aluminium sliding doors and windows (key locks on doors)
Humes Ultimo XU10 front entrance door or equivalent
Lanes entrance set to external doors as per builder selection
Sidelight glass as per plan (obscure glass)
James Hardie cladding FC sheeting where applicable
Laundry

Glo Tub 45LT with suds by pass and cabinet
Posh Bristol tapware in Chrome
Tiling to floor and skirting, tub splash back to 400mm
Tiles to be selected from builder's supplier \$20.00/sqm
Waterproofing to Australian Standards

Other Inclusions

Humes internal doors from builder's standard range
Built in robes to all bedrooms as per plans with shelf and rail
Linen cupboard with 4 shelves or as per plan
Colonial skirting and architraves 68x12mm

Sisilation – to all walls

Cornice plaster cove – **internal** 90mm, **patio** 55mm
Ceiling battens to underside of trusses

Plasterboard 10mm to wall and ceilings

Villaboard or WR board linings 6mm to wet areas
Lanes Standard Lever quality internal door furniture as per builder selection

Garages – fully lined as per plan

Professional cleaners to clean inside and out – All rubbish removed

6 Year Structural Guarantee

6 Months Maintenance Warranty

Letterbox – builder's standard range

Clothesline – fold-a-line builder's standard range

TV antenna – Builder's standard range

Electrical Points and Light Fittings

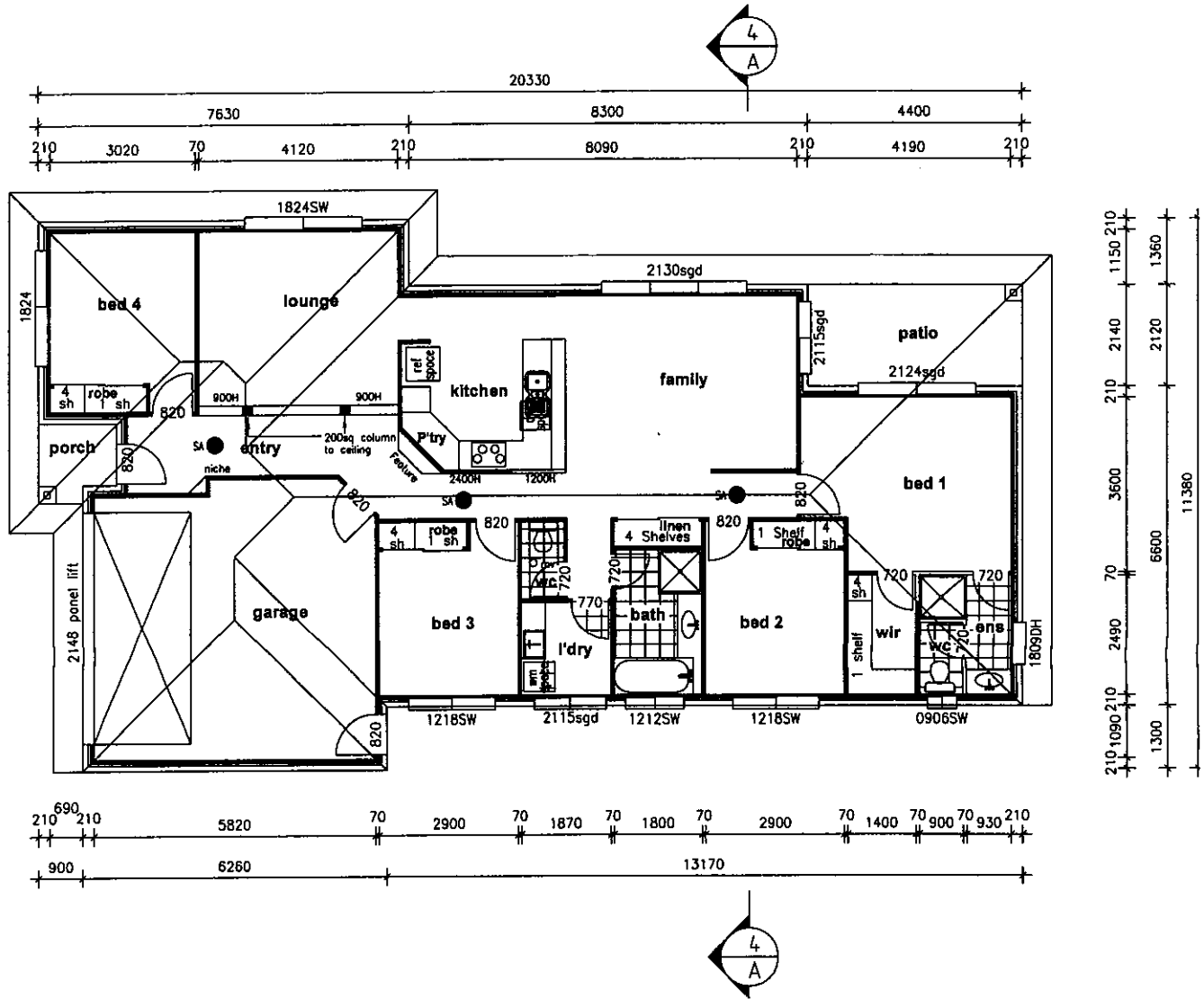
Circular fluorescent in kitchen
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3 double GPO in kitchen/2 double GPO to Bed 1 and lounge
1 double GPO in all other rooms except WC and hall
3 external oyster lights
2 TV points/2 Phone Points
240v down lights to remainder of home - builder's plan
Smoke alarms to local government authority/ **Circuit Breaker**

RPC reserves the right to alter this specification without further notice. Nominated PC items are subject to availability and RPC reserves the right to substitute to a similar product when necessary.

FLOOR AREAS

Ground Floor: 180.30 sqm
 Entry Patio : 2.40 sqm
 Rear Patio : 9.30 sqm
Total Floor Area: 192.00 sqm

Cmv - Denotes Mechanical ventilation



FLOOR PLAN

Scale 1:100

Smoke Detectors
 Approved smoke detectors are to be installed in all residential buildings, with connection to mains supplied power and with a battery back up system, all in accordance with the BCA 1996 part 3.7.2. (Smoke Alarms)

Glazing
 All glazing to comply with 1996 BCA Clause 5.8.7.

Hot Water Systems
 All hot water systems to be installed with a tempering valve & must comply with AS 1357.2



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 Telephone: (07) 5436 1444
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Client Name: **RPC MARKETING PTY. LTD.**

Job Address: **Lot 187 Latimer Crescent
 Sippy Downs**

Council: **Maroochy**

Wind Cat: **N3/W41**

Drawn: **AW**

Pages: **2 of 6**

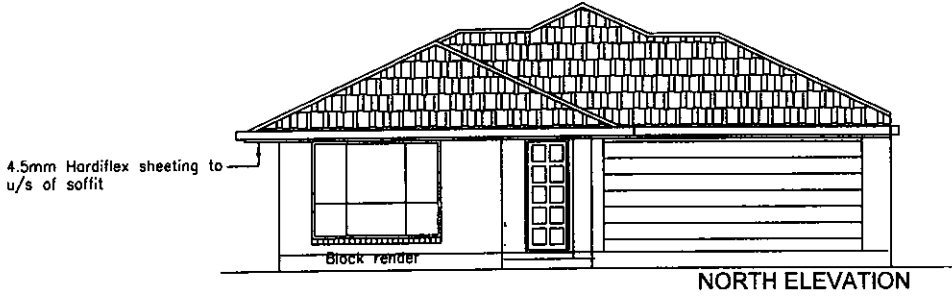
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Date: **May 06**

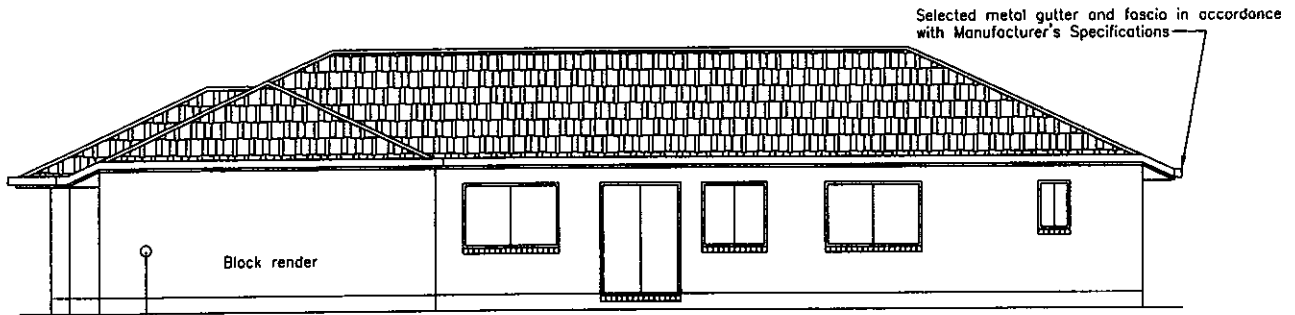
Dwg No. **23362/A02**

Rev. **2**

Rev	Date	Description	AW
2	June 06	Revised Construction Issue	AW
1	May 06	Construction Issue	AW

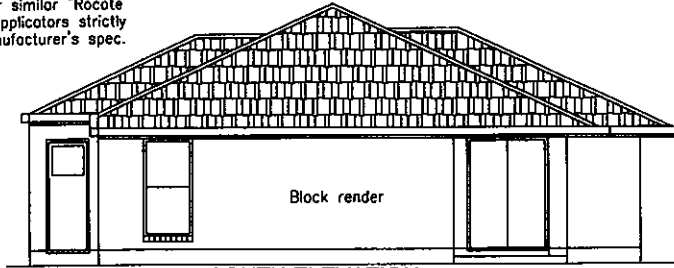


NORTH ELEVATION

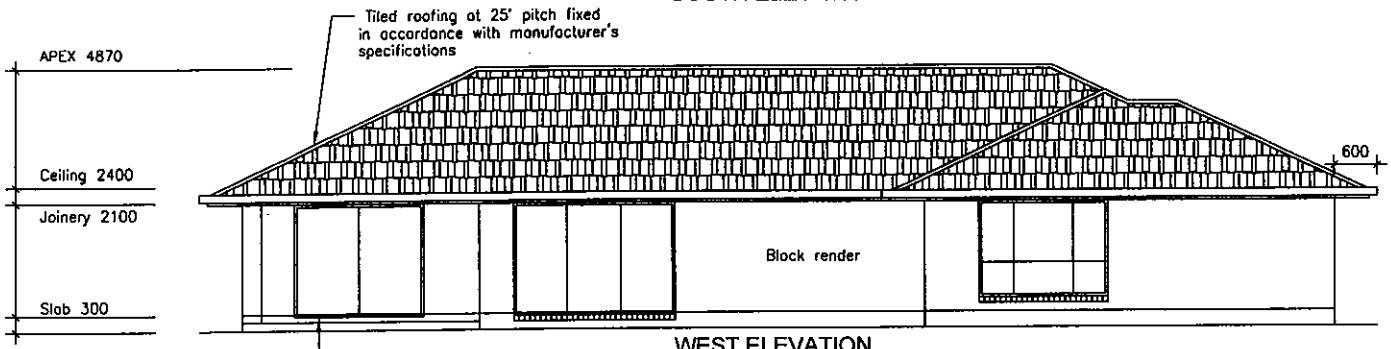


EAST ELEVATION

Select solid architectural render similar "Rocote" or equivalent by approved applicators strictly in accordance with Manufacturer's spec.



SOUTH ELEVATION



WEST ELEVATION

Note:
Provide articulation joints
as per building code

RPC
REAL PROPERTY CONSTRUCTIONS

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Rev	Date	Description	AW
2	June 06	Revised Construction Issue	AW
1	May 06	Construction Issue	AW

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Job Address: **Lot 187 Latimer Crescent
Sippy Downs**

Council:	Wind Cat:	Drawn:	Pages:
Maroochy	N3/W41	AW	3 of 6
Scale:	Date:	Dwg No.	Rev.
1:100 U.O.S	May 06	23362/A03	2



REAL PROPERTY CONSTRUCTIONS

House and Land Package

located at

Lot 190 Latimer Crescent, Chancellor Park

Total Price as per attached inclusions

\$388,500.00

HOUSE AND LAND**\$388,500.00**

Price based on plan for Lot 190 Latimer Crescent

Base price is included as an "M" classification site with no piers.

Drawing Number

Including Real Property Construction Turnkey Inclusions

TOTAL HOUSE AREA = 187.0m² LAND AREA = 471m²

EXTERNAL HOUSE FEATURES

1. Face Rendered and paint to external façade over masonry bricks.
2. Colourbond roof with 25 degree roof pitch.
3. Ceiling height of approximately 2400mm
4. Patio to rear under main roof with one rendered and painted masonry brick piers. Ceiling to patio and porch to be painted water resistant plasterboard.
5. Exposed aggregate concrete to driveway, porch, patio and paths, from RPC builder's standard range.
6. 1800 high CCA timber fencing to all boundaries and returning to the side with a single gate.
7. Automatic sectional overhead garage door with three remotes (1 wallmount and 2 handheld).
8. TV antennae with two TV points, one in the lounge and one in the main bedroom.
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10. Sandstone letterbox, from RPC builders' standard range.
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Lanes Standard Lever quality internal door furniture as per builder
 selection

Garages – fully lined as per plan

Professional cleaners to clean inside and out – All
 rubbish removed

6 Year Structural Guarantee

6 Months Maintenance Warranty

Letterbox – builder's standard range

Clothesline – fold-a-line builder's standard range

TV antenna – Builder's standard range

Electrical Points and Light Fittings

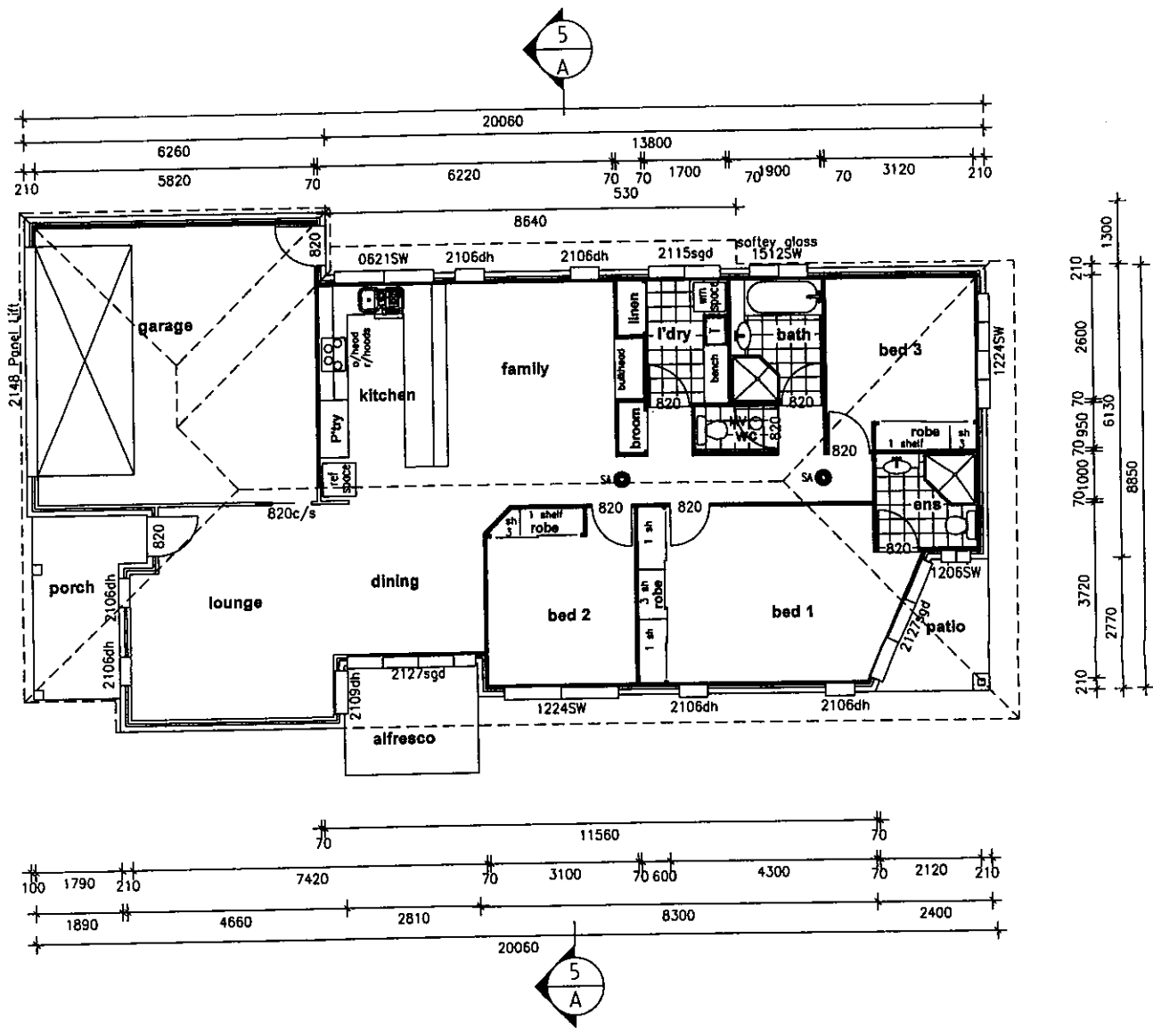
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 necessary.

Smoke Detectors
 Approved smoke detectors are to be installed in all residential buildings, with connection to mains supplied power and with a battery back up system, all in accordance with the BCA 1996 part 7.2. (Smoke Alarms)

Glazing
 All glazing to comply with 1996 BCA Clause 5.6.7.

Hot Water Systems
 All hot water systems to be installed with a tempering valve & must comply with AS 1357.2



GROUND FLOOR PLAN
 Scale 1:100

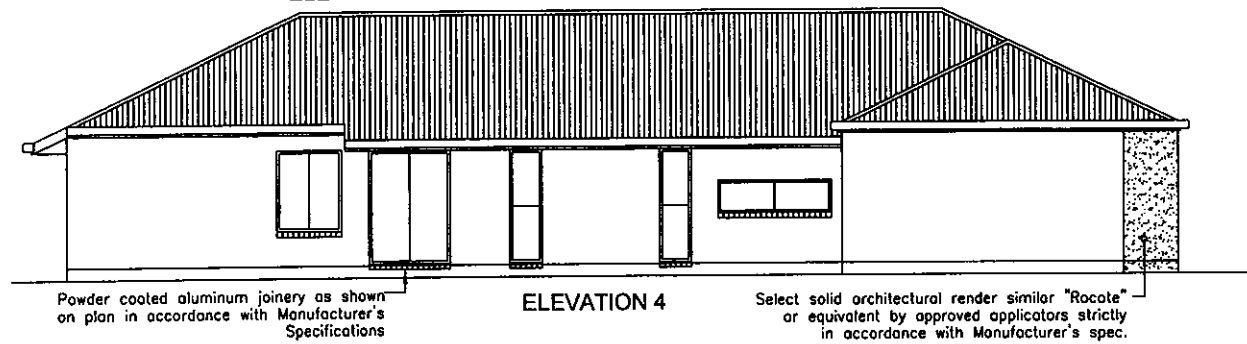
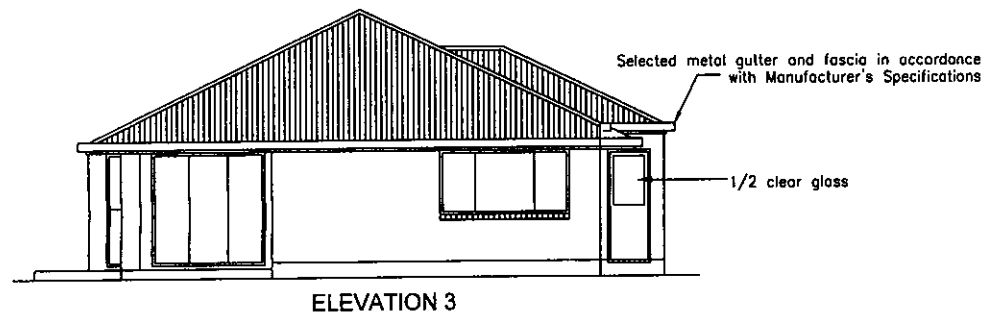
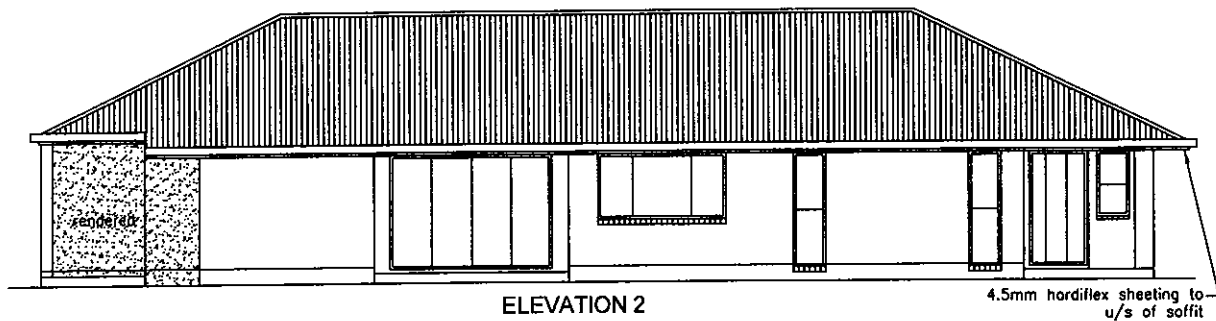
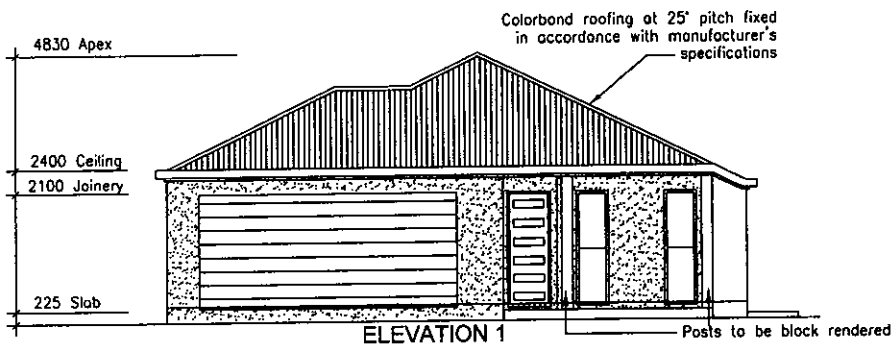
FLOOR AREAS	
Ground Floor:	174.50 sqm
Patio:	5.00 sqm
Porch:	7.50 sqm
Total Floor Area:	187.00 sqm



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Client Name: RPC MARKETING P/L			
Job Address: Lot 190 Latimer Crescent			
Council: Sippy Downs			
Scale: Maroochy	Wind Cat: N3/W41	Drawn: AW	Pages: 2 of 6
1:100 (U.G.S)	Date: May 06	Dwg No. 23437 /A02	Rev. 1

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- Refer all discrepancies to designer

Client Name: **RPC MARKETING P/L**

Job Address: **Lot 190 Latimer Crescent
 Sippy Downs**

Council: **Maroochy** Wind Cat: **N3/W41** Drawn: **AW** Pages: **3 of 6**

Scale: **1:100 (u.o.s)** Date: **May 06** Dwg No. **23437 /A03** Rev. **1**

Note:
 Provide articulation joints
 as per building code

Rev	Date	Description	AW
1	May 06	Construction Issue	AW