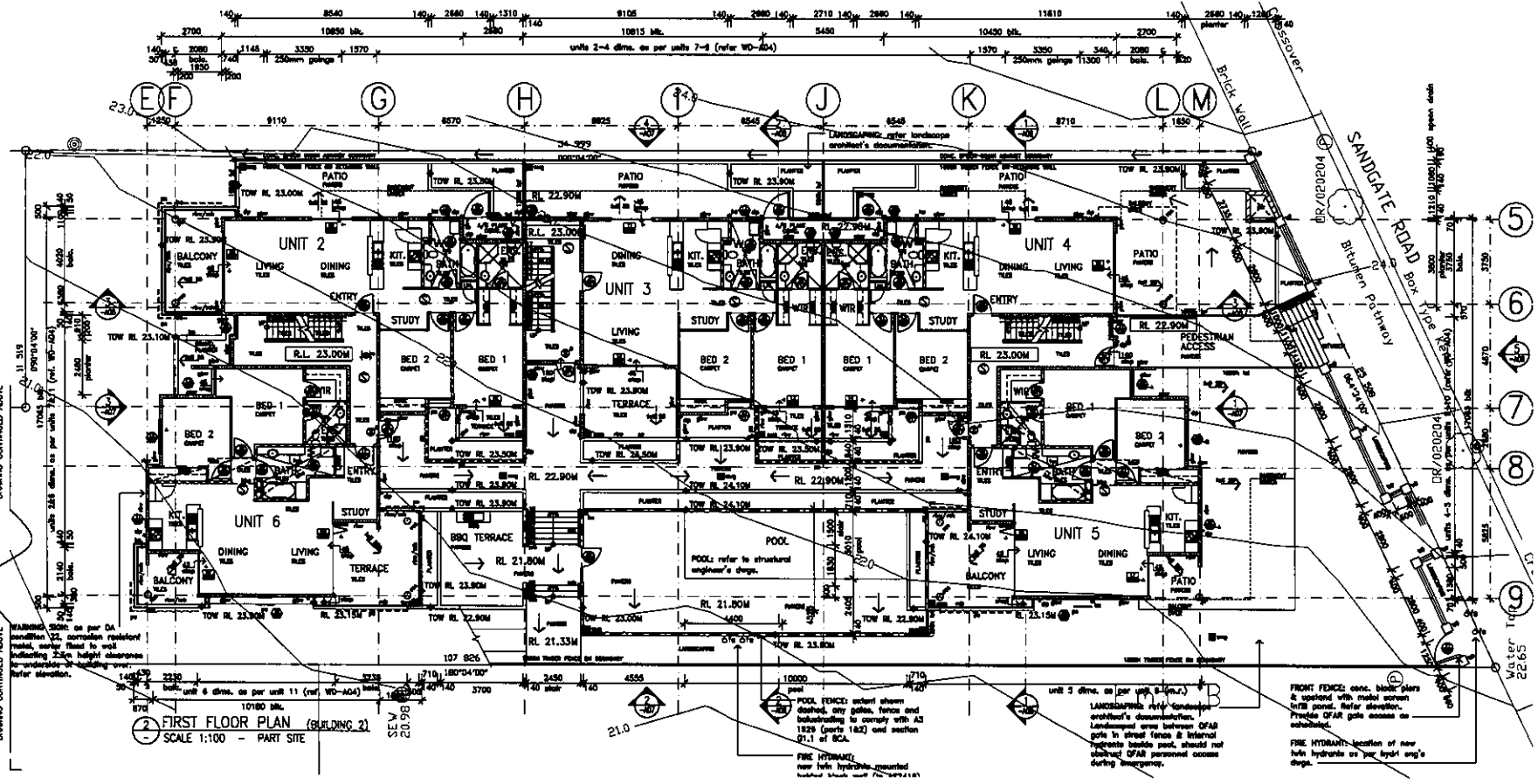
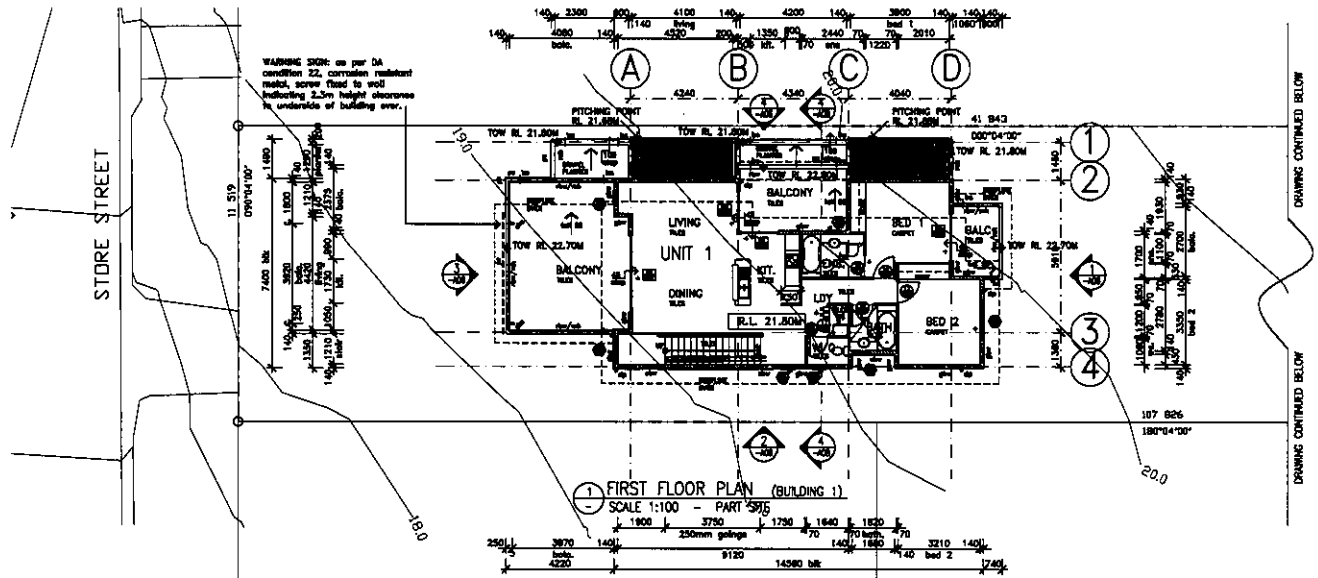


GENERAL NOTES

1. All work shall be in accordance with the B.C.A. Building Code of Canada and the B.C.A. Building Code of Canada. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.

LEGEND

- 1. 10mm opening conc. block wall
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- 99. 10mm opening conc. block wall
- 100. 10mm opening conc. block wall



4	FOUNDATION ISSUE	Sept	30.04.04
5	CONSTRUCTION ISSUE	Sept	22.08.04
6	BA & OFAR ISSUE	Sept	23.08.04
7	CONSTRUCTION ISSUE	Sept	13.10.04
8	SURVEY REMOVED ISSUE	Sept	14.10.04

proposed
APARTMENT BUILDING
 at
**386 SANDGATE RD.
 & 27 STORE ST.**
ALBION
 for BERLESE
DEVELOPMENTS



Drawing Title
**BA SUBMISSION
 FIRST FLOOR PLAN**

Date	MARCH '04				
Scale	1:100				
Drawn	JYW/BPN				
Job no.	0312	Rev. no.	WD-A03	Sheet	D

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LEGEND

- 1 - 10mm castoff glass brick unit
- 2 - 10mm castoff glass brick unit
- 3 - 10mm 'un-castoff' brickwork unit
- 4 - 20mm glass unit with 4mm air gap
- 5 - 10mm glass unit with 4mm air gap
- 6 - 10mm glass unit
- 7 - 10mm glass unit with 4mm air gap
- 8 - 10mm glass unit with 4mm air gap
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- 50 - 10mm glass unit with 4mm air gap

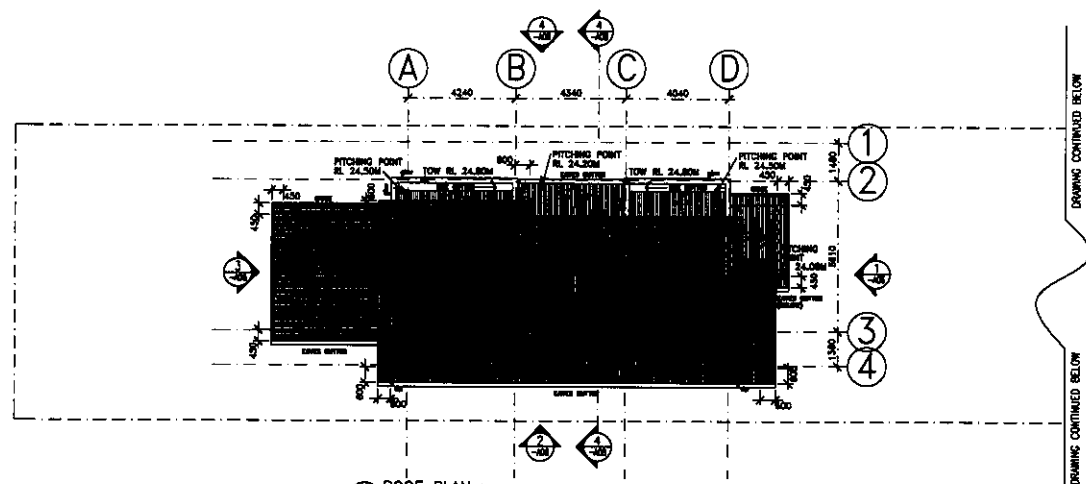
GENERAL NOTES

DESIGN
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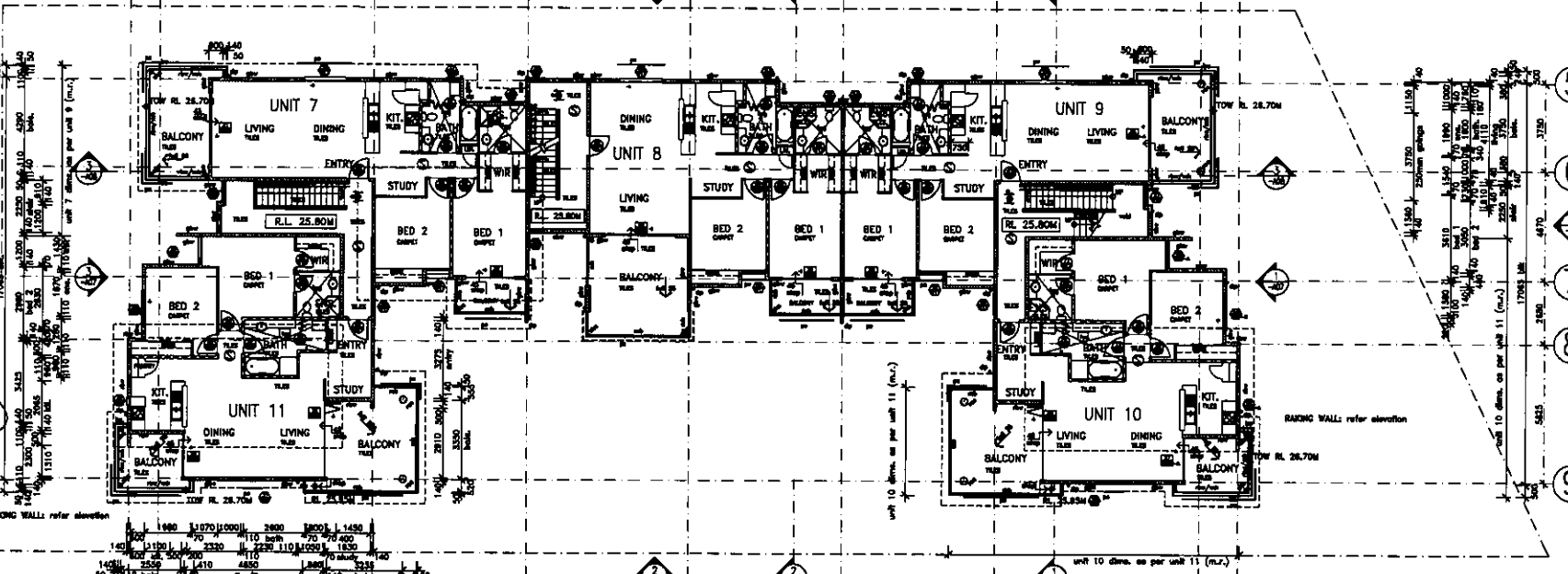
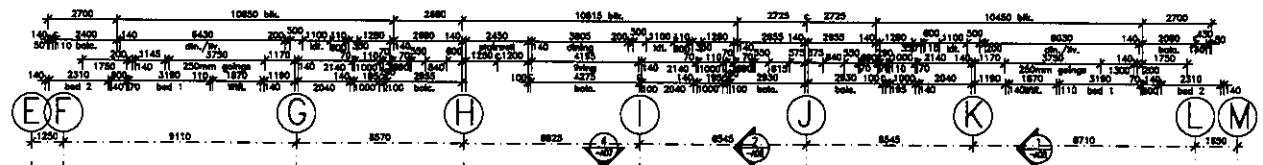
CONSTRUCTION
 The drawings are the property of the architect and shall remain their property. All rights reserved. The architect shall not be responsible for the design of any structure or equipment not shown on these drawings. The architect shall not be responsible for the design of any structure or equipment not shown on these drawings.

REVISIONS

No.	Description	Date
1	Issue for tender	10/10/03
2	Issue for construction	10/10/03
3	Issue for construction	10/10/03
4	Issue for construction	10/10/03
5	Issue for construction	10/10/03
6	Issue for construction	10/10/03
7	Issue for construction	10/10/03
8	Issue for construction	10/10/03
9	Issue for construction	10/10/03
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45	Issue for construction	10/10/03
46	Issue for construction	10/10/03
47	Issue for construction	10/10/03
48	Issue for construction	10/10/03
49	Issue for construction	10/10/03
50	Issue for construction	10/10/03



1 ROOF PLAN (BUILDING 1)
SCALE 1:100 - PART SITE



2 SECOND FLOOR PLAN (BUILDING 2)
SCALE 1:100 - PART SITE

#	Preliminary Issue	Date
1	Construction Issue	10/10/03
2	BA & DEAR Issue	10/10/03
3	CONSTRUCTION ISSUE	10/10/03

Project
proposed
APARTMENT BUILDING
 at
386 SANDGATE RD.
& 27 STORE ST.
ALBION
 for **BERLESE DEVELOPMENTS**

LEVEL: 5
 28 WILSON ST.
 SYDNEY NSW 1570
 PH: 02 9639 1102
 FAX: 02 9639 1148
 EMAIL: info@ferromuller.com.au

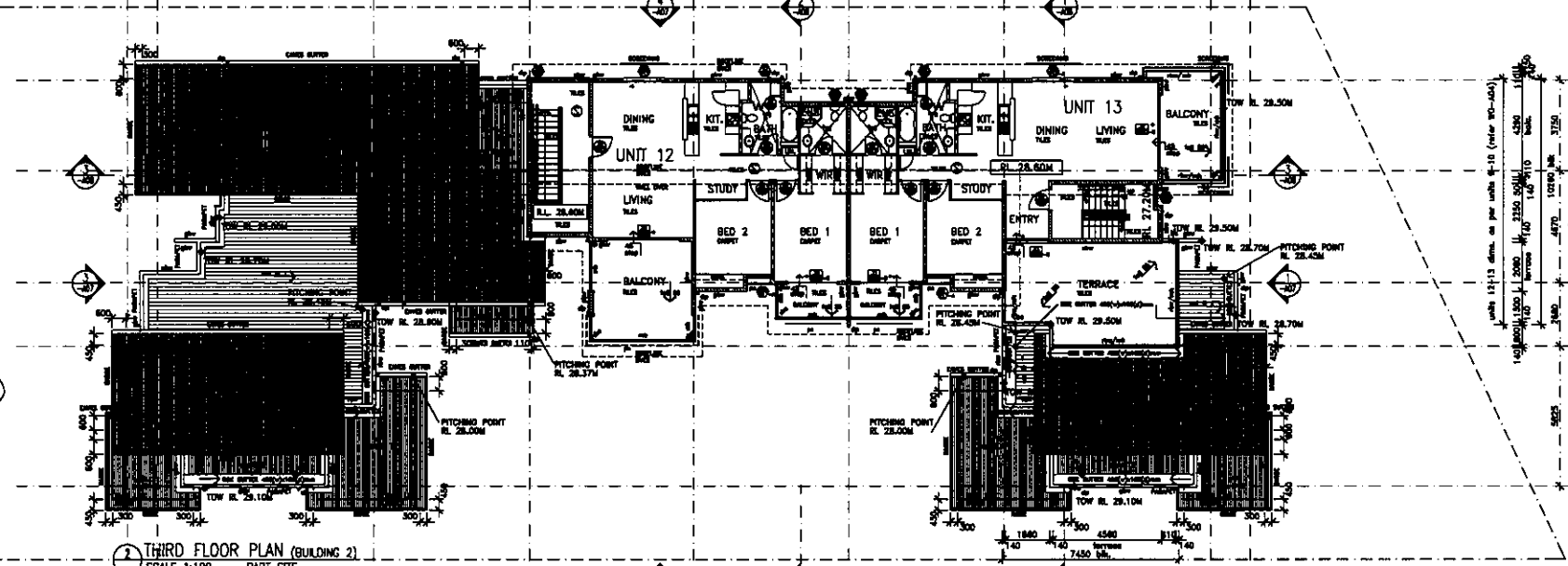
Drawing Title
BA SUBMISSION
SECOND FLOOR PLAN

Date	MARCH '04	
Scale	1:100	
Drawn	JYW/BpN	
Job no.	0312	
	WD-A04	C

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10815 HL. 5430 10430 HL. 2700
 units 12-13 elev. as per units 7-6 (refer WD-AD4) 1810 1320 1730 340 2450 50
 1140 1200 1160 8077 AD

(E) F (G) (H) (I) (J) (K) (L) (M)
 1120 8110 5270 8925 8545 8545 8710 1850



① THIRD FLOOR PLAN (BUILDING 2)
 SCALE 1:100 - PART SITE

(E) F (G) (H) (I) (J) (K) (L) (M)
 1120 8110 5270 8925 8545 8545 8710 1850



② ROOF PLAN (BUILDING 2)
 SCALE 1:100 - PART SITE

LEGEND

100mm concrete slab, finish top
 100mm concrete slab, finish top
 100mm 'perforated' lightweight slab
 100mm concrete slab, finish top
 ...
 DRAWING TITLE: BA SUBMISSION THIRD FLOOR & ROOF PLANS
 DATE: MARCH '04
 SCALE: 1:100
 DRAWN: JYW/BpN
 JOB NO: 0312
 SUP. NO: WD-AD5
 CLASS: C
 COPYRIGHT: THESE DRAWINGS & DESIGNS ARE COPYRIGHT AND MUST NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE PERMISSION OF FERRO MULLER PARTNERSHIP. INFRINGEMENTS OF COPYRIGHT WILL RESULT IN LEGAL ACTION BEING TAKEN.

GENERAL NOTES

...
CONSTRUCTION
 All work shall be carried out in accordance with the BSA, including but not limited to the provisions of the BSA, and all work shall be carried out in accordance with the BSA, including but not limited to the provisions of the BSA...
DESIGN
 THE FOLLOWING POINTS AND SETBACKS ARE INDICATED...
DECKING
 Decking shall be carried out in accordance with the BSA, including but not limited to the provisions of the BSA...
TABLE

	Date
A. Preliminary Issue	08/04/04
B. Construction Issue	22/08/04
C. BA & OFAR Issue	25/08/04
D. CONSTRUCTION ISSUE	13/10/04

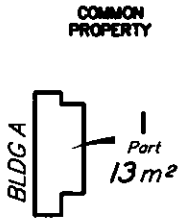
proposed
APARTMENT BUILDING
 at
386 SANDGATE RD.
 & **27 STORE ST.**
ALBION
 for **BERLESE DEVELOPMENTS**



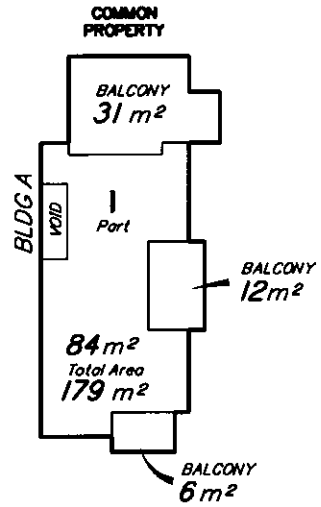
Drawing Title
**BA SUBMISSION
 THIRD FLOOR &
 ROOF PLANS**

Date	Scale	Drawn
MARCH '04	1:100	JYW/BpN

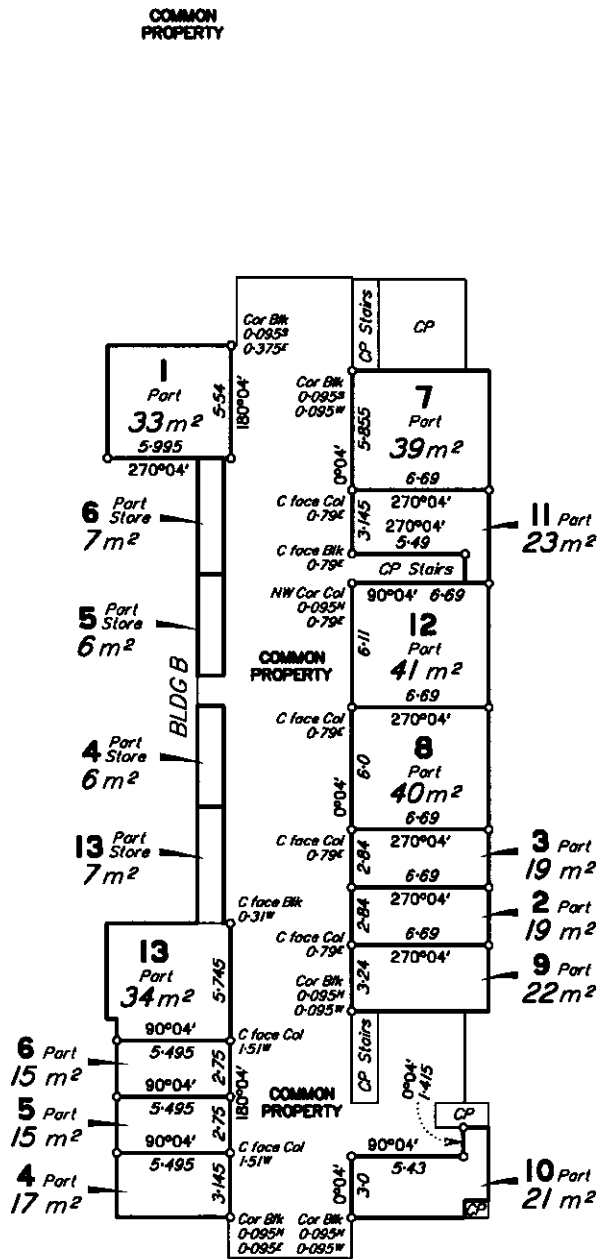
Job no. 0312
 Sup. no. WD-AD5
 Class C



LEVEL A
Scale 1:250

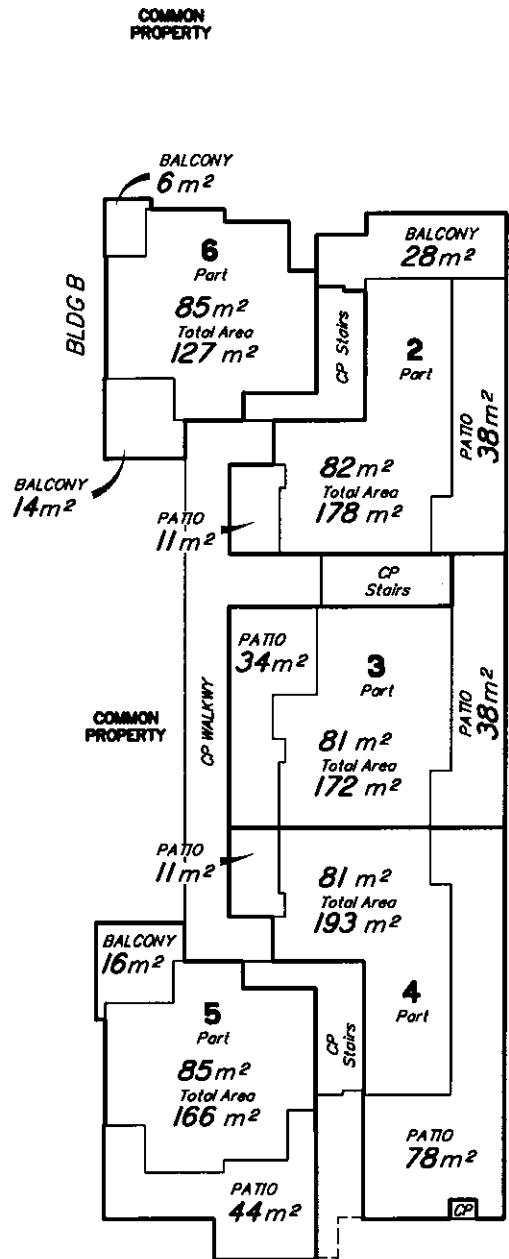


LEVEL B
Scale 1:250



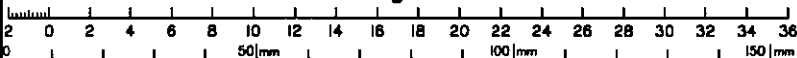
Screw placed at all new corners, unless otherwise stated.

Scale 1:250 - Lengths are in Metres.



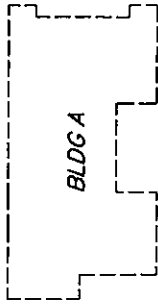
--- Line of Building Below

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Insert Plan Number **SP177831**

COMMON PROPERTY

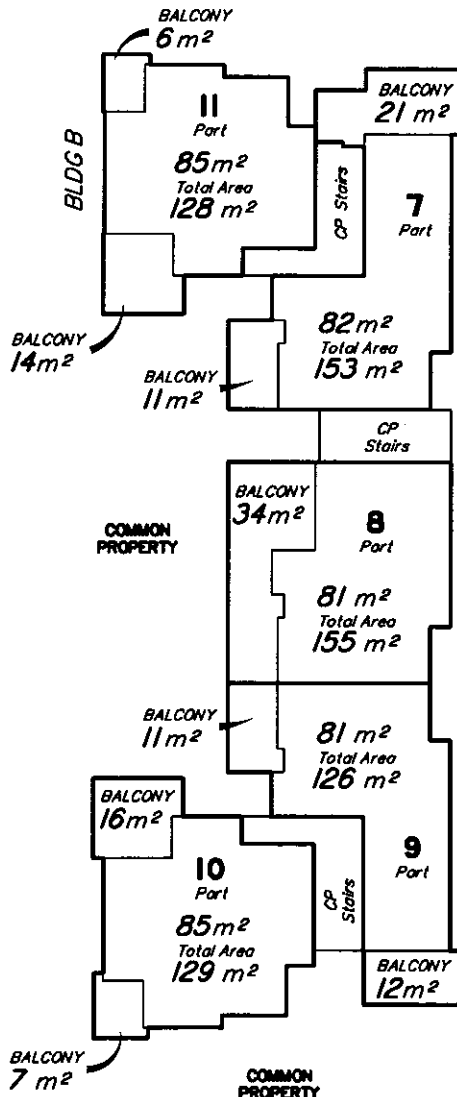


LEVEL C
Scale 1:250

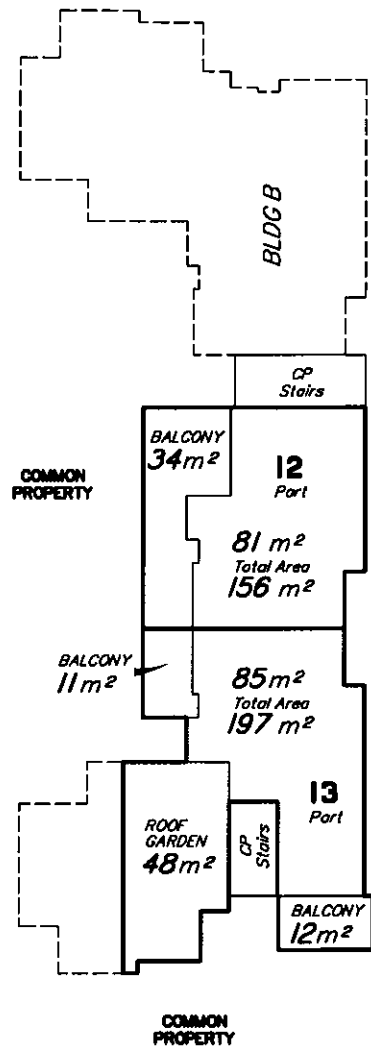
COMMON PROPERTY

LEVEL D
Scale 1:250

COMMON PROPERTY



COMMON PROPERTY

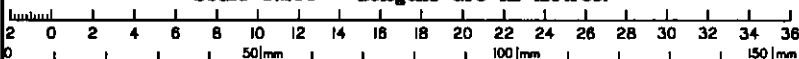


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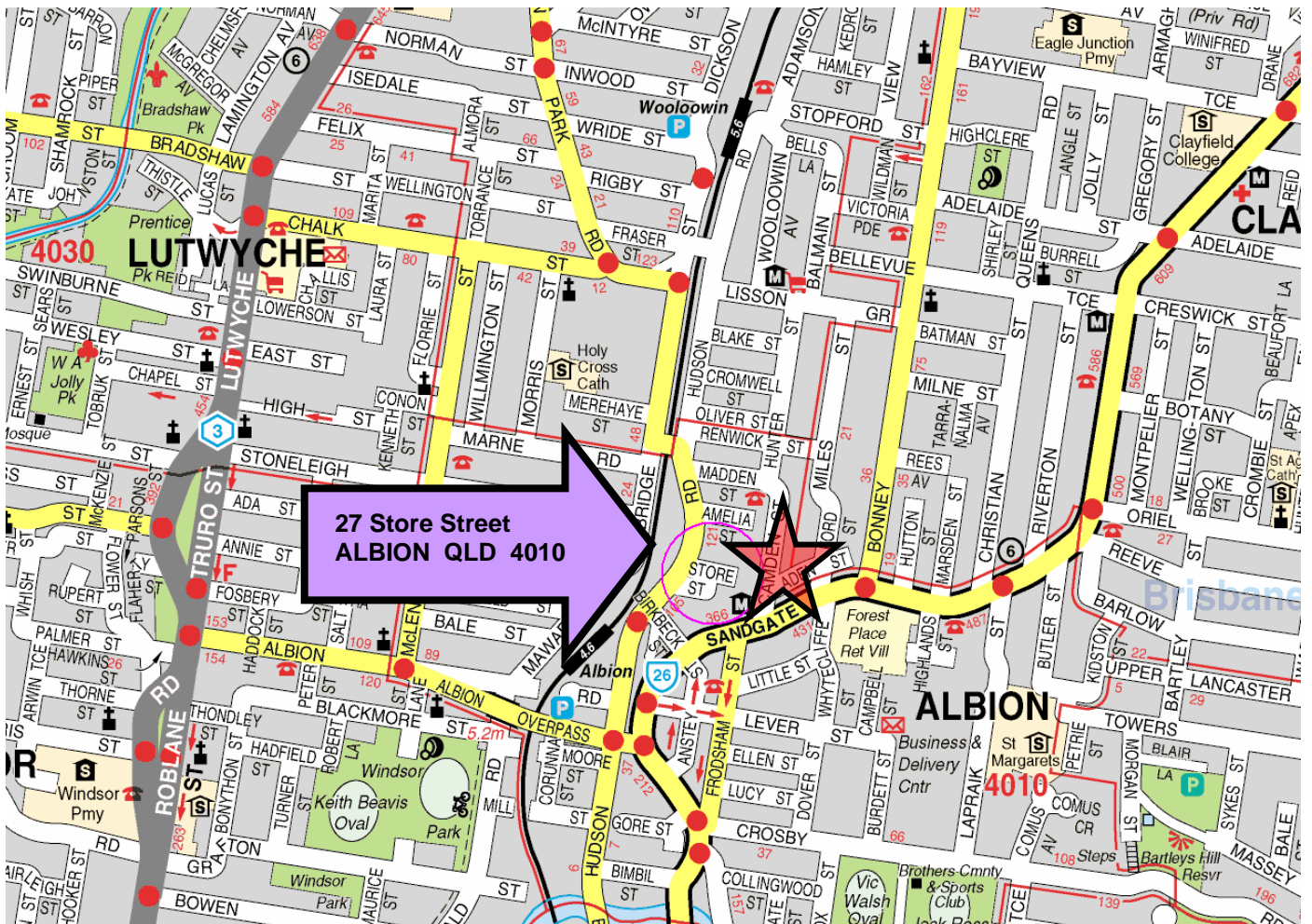
----- Line of Building Below

Scale 1:250 - Lengths are in Metres.

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Insert Plan Number **SP177831**



Albion

Local Government Authority Brisbane

Location 5 km from CBD

Features Home of the Brothers Rugby Union team, Albion rail station

Median Price Research shows that the median house price in the suburb for the calendar year 2004 was \$420,000. And the median unit price for the same period was \$247,500.

Median Weekly Rent The median weekly rent paid for a 3-bedroom house in this area in the December 2004 quarter was \$310. The median weekly rent paid for a 2-bedroom unit in this area for the same period was \$290.

Commentary

Albion is an inner city suburb, located 5 kilometres north of the Brisbane CBD. The suburb is home to a wide variety of housing styles ranging from workers cottages through to executive homes and units.

In recent times the area has been revamped with streetscaping and the refurbishment of the Albion Hotel. Restaurants and cafes located along Sandgate Road are also proving popular following recent renovations.

The area is made up of approximately 70% single unit dwellings (houses), some with views of the Brisbane CBD, and has seen a progression from retirees and older residents to young families and couples opting to renovate older-style housing.

Families in the area are well serviced with a number of schools in nearby suburbs catering for both primary and secondary school children. Recreational areas include parks, bike and walk ways.

Albion has excellent public transport with a railway station supplemented by a regular bus service that operates along both Sandgate and Crosby Roads. It is also close to the Brisbane airport and has easy access to the Gateway Motorway that runs south to the Gold Coast and north to the Sunshine Coast.

Centro Toombul is the closest major shopping centre, however if residents wish to travel a bit further out, Westfield Chermside also offers a range of retailers.

According to the 2001 Census there were 2,248 people living in the suburb with a median age of 33. The median individual income was between \$400 and \$499 per week. Of all occupied private dwellings 48% were either fully owned or being purchased; 42% were being rented.